



CONSTRUCTION MANAGERS • GENERAL CONTRACTORS

431 W. McGregor Dr., Boise, ID 83705
P: 208.384.0800 | F: 208.345.5323 | www.cmcompany.com

June 3, 2021

ADDENDUM NO. 1

PROJECT:

Chubbuck Police H.Q. & Animal Shelter
5160 Yellowstone Avenue
Chubbuck, ID 83202

Owner:

City of Chubbuck
5160 Yellowstone
Chubbuck, ID 83202

Architect:

Lombard Conrad Architects
1221 Shoreline Ln.
Boise, Idaho 83702

Architect:

Myers Anderson Architects, PLLC
122 South Main St., Suite 1
Pocatello, Idaho 83204

Construction Manager:

CM Company Inc.
431 West McGregor Drive
Boise, Idaho 83705

Notice to Bidders:

The following addenda applies to the Project Specifications and/or Drawings for this project and shall be a part of the Contract Documents. Receipt of this Addendum must be acknowledged and dated on your bid proposals.

BIDDING:

Submit sealed bids to Chubbuck City Hall 5160 Yellowstone Avenue, Chubbuck, Idaho 83202 by
Tuesday, June 8th, 2021 2:00 PM local time.

Bid Proposal Forms – Scope Clarifications:

Remove the following to Bid Package #03 Building Demolition:

- Remove portion of perimeter walls as shown for new storefront is **NOT** included in this bid package.

Add the following to Bid Package #4 Earthwork:

- Excavation and removal of spoils for structural footings at Police H.Q. per 102 & 112/S3.0, including backfill and compaction is included in this bid package.
- Excavation, base and backfill for new window wells.

Add the following to Bid Package #08 Building Concrete & Foundations:

- Concrete wall infill at existing window wells.
- Window well base, top and retaining walls at new window wells including saw cutting of existing wall for new windows (coordinate with Glazing Contractor).

Remove the following to Bid Package #10 Masonry:

- Demolition of existing brick and stucco at exterior façade per A4/A2.11 (Police H.Q.) is **NOT** included in this bid package and will be covered by bid package #3 Building Demolition.

Add the following to Bid Package #11 Structural and Miscellaneous Steel:

- Ledger and steel grate at new window wells per A4/A1.30 (Police H.Q.).
- Stainless Steel shower bench support steel per B4/A8.50 (Police H.Q.), (solid surface slats by others, coordinate with Architectural Woodwork Contractor).

Add the following to Bid Package #12 Rough Carpentry:

- All wall cutting and removal at existing perimeter walls for new openings per Keynote #1 sheet A2.10, including framing at these locations for new storefront systems.
- Plywood, OSB and framing at all infill locations at roof and perimeter wall locations.

Add the following to Bid Package #13 Architectural Woodwork:

- Solid surface bench slats at shower bench per B4/A8.50 (Police H.Q.).

Add the following to Bid Package #20 Aluminum Storefront & Glazing:

- (Police H.Q.) Sheet A2.20 Key Note #19 Frameless Gym Mirrors is to be included in this bid package.

Add the following to Bid Package #22 Metal Stud Framing, Drywall, Acoustic Tile Ceiling:

- Pony wall including pre-manufactured wall supports with base plate.

Add the following to Bid Package #25 Painting:

- Prep and paint interior exposed wood where indicated including open ceiling structure.

Add the following to Bid Package #29 Fire Suppression:

- Demolish and removal of existing fire riser.
- Demolition of existing fire sprinkler system if required.

Add the following to Bid Package #30 Plumbing:

- Maintain and keep existing Plumbing systems operational as required and throughout phased construction per "Special Note" P1.0 (Police H.Q.).

Add the following to Bid Package #31 Heating, Ventilation and Air Conditioning:

- Maintain and keep existing HVAC systems operational as required and throughout phased construction per "Special Note" M1.0 (Police H.Q.).

Add the following to Bid Package #32 Electrical:

- Include pricing to disconnect and relocate all radio tower, antenna and dispatch equipment. Equipment to be relocated by Day Wireless as indicated.
- Maintain and keep existing Electrical systems operational as required and throughout phased construction.

SPECIFICATIONS:

Updated Specifications 092900 – Gypsum Board – See attached RFI #5

ATTACHMENTS:

Pre-Bid RFI's (27 pages)
 Pre-Bid Conference & Sign-In Sheet (3 pages)
 Bid Schedule (10 pages)
 Site Material Handling Plan (1 page)
 Substitution Request (1 page)

END OF ADDENDUM NO. 1



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Pre-Bid Request for Information

To: CM Company Inc.
431 W McGregor Dr.
Boise Idaho
seans@cmcompany.com

RFI No.: 01

Date: 05/28/2021

Job: Chubbuck Police H.Q. & Animal
Shelter

Job Phone: 208-384-0800

Cc:

Subject: Bid Package Clarification

Drawing: See Below

Spec Section:

Request:

Date Required:

1. Animal shelter structural details 217 & 218 call out "sunshade *and connection by others*". Where is the dividing line between BP 11 and 26? If supplied by us, will they be installed by BP 26 (possibly complicated and expensive coordination issues if by BP 11)
2. On B4/A1.40 please confirm BP #11 to provide and attach TS frame and BP #15 to provide and install metal wall panels.

Submitted by: Sean Setterberg, CM Company, Inc.

Response:

1. Bid Package #11 has no work here, Key-Note #9 & 10 are furnished and installed by Bid Package #26.
2. Confirmed, B4/A1.40 CONCOD 074213.13A, Lap-Seam Metal Wall Panels are to be furnished and installed by Bid Package #15.

Answered by: Sean Setterberg

Answered date: 5/28/2021



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Pre-Bid Request for Information

To: CM Company Inc.
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RFI No.: 02

Date: 05/28/2021

Job: Chubbuck Police H.Q. & Animal
Shelter

Job Phone: 208-384-0800

Cc:

Subject: Steel

Drawing: See Below

Spec Section:

Request:

Date Required:

1. Conflict between details 217,218/S4.1 and D4/A5.4, please clarify
2. It's somewhat difficult to determine length of anchor bolts for the police parking canopy columns. These bolts are a costly item. Per foundation minimum bearing depth on S1.0, dimension note 8 on detail 101/S3.0 will be at least 36". While the bolts will extend only 33" into that, another 6-8" will be required to penetrate the top of the pier, grout, and top nut with an allowance for adjustment making the bolt around 40". The specified Simpson PAB9H is available only up to 36". Please clarify 36" bolt being sufficient, use of a coupler to join an additional length of threaded rod, or a custom fabricated bolt? Please clarify.
3. Support posts for man gates per B3/A1.40 are not shown embedded (stem wall specified to run under posts), nor with base plates, nor attached to masonry wall (1/4" space specified). Please clarify.
4. detail B3/A1.40 "gate lock" is pretty non-descript. There is a substantial difference between a simple hasp for a padlock and a locking latch of various optional qualities. Please clarify.

Submitted by: Sean Setterberg, CM Company, Inc. for Sub-Contractor

Response:

1. Weld shear plate to steel beam as specified in details 217 & 218/S4.1 for the awning connection
2. These bolts can be special ordered in lengths greater than 36". This may also be done by assembling a 1.125" Ø ASTM A193 B7 or F1554 grade 105 rod with a 5/8"x3.5"x3.25 plate wash fastened between two hex nuts. The overall length of 40" for the anchor assembly should be sufficient.
3. Attach tube steel to wall with 3/4" x 5" headed stud @ 16" o.c. for the height of the wall.
4. Hasp to be King Architectural Metals model #30-21, Heavy Duty Gravity Gate latch, or similar.

Answered by: Ben Bernier

Answered date: 6-2-2021



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Pre-Bid Request for Information

To: CM Company Inc.
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RFI No.: 03

Date: 06/1/2021

Job: Chubbuck Police H.Q. & Animal
Shelter

Job Phone: 208-384-0800

Cc:

Subject: Electrical / MC Cable

Drawing:

Spec Section: See Below

Request:

Date Required:

1. Spec Section 260503.2.1.A.8 states, Type MC where concealed behind covered wall systems. Spec Section 260506.2.1.C states, Use of the following is prohibited on this project, 7. MC Cable. Please clarify if MC Cable is permitted.

Submitted by: Sean Setterberg, CM Company, Inc. for Sub-Contractor

Response:

MC Cable is allowed for use as consistent with the National Electrical Code.

Answered by: Matt Bradley

Answered date: 6-1-2021



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Pre-Bid Request for Information

To: CM Company Inc.
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seans@cmcompany.com

RFI No.: 04

Date: 06/1/2021

Job: Chubbuck Police H.Q. & Animal
Shelter

Job Phone: 208-384-0800

Cc:

Subject: Fire Suppression

Drawing: See Below

Spec Section:

Request:

Date Required:

1. There is an existing fire riser and sprinkler system in the Police H.Q. building, sheet P1.0 does not show the existing as being demolished. Is the existing fire riser and sprinkler system to be demolished?
2. What is the location of the existing fire riser?
3. What size pipe is feeding the existing fire riser?

Submitted by: Sean Setterberg, CM Company, Inc.

Response:

1. The existing Fire Riser in the Basement closet in Ammo Storage room will need to be demolished. We are getting a new Fire Riser in Basement Riser room 011. Fire Sprinkling is deferred submittal by the successful Fire Sprinkler Sub-contractor. It will be up to them whether to re-use or replace the existing sprinkler lines and heads.
2. See Sheet A2.11 Existing Lab. The existing Fire Riser is located in the closet at the South East corner of that room.
3. The Riser is fed from an existing 4" water main coming off Hwy Ave. It then necks down to a 2-1/2" Fire Riser, which also has a 2" domestic tee connected to this. See Attached Picture.
4. For now we would like to leave both the new Water Riser as shown on sheet P1.1 in Riser room 011, and the existing Water Riser in Mechanical 144, until we can begin demolition and determine if these two locations are tied together, or independent.



Answered by: Dwayne Sudweeks P.E.

Answered date: 6/2/2021



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Pre-Bid Request for Information

To: CM Company Inc.
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Boise Idaho
seans@cmcompany.com

RFI No.: 05

Date: 06/1/2021

Job: Chubbuck Police H.Q. & Animal
Shelter

Job Phone: 208-384-0800

Cc:

Subject: Finishes

Drawing: See Below

Spec Section: See Below

Request:

Date Required:

1. Bullet Resistant Fiberglass Panels. These are noted as 092900 Fiberglass Ballistic Wall Panels on the interior wall types on A3.30. They are not included in the 092900 Gypsum Board Spec. Please provide specification.
2. Material Legend on A3.10 notes SAP Sound Absorbing Panels (098433 & 098436). These are not noted on the finish schedule, not shown on the plans, and there is no specification for these. Is SAP to be removed from the material legend?
3. A3.30 092900F3 notes acoustically enhanced gypsum board. The 092900 Gypsum Board Spec does not include it. Please provide specification.
4. 092900 Gyp Board Spec 2.6A.1. and 3.5D.2. notes a level 5 finish. This will add a significant cost to the project. Please confirm that indeed a Level 5 finish will be required.
5. Specifications include 093013 Ceramic Tiling but the plans do not show any elevations of ceramic tile nor does the finish schedule note any. Backer board is noted in the 092900 Gypsum Board Spec. Is there any ceramic tile required?
6. FRP is noted in the material legend on A3.10. It is not shown on plans or finish schedule. Please confirm that no FRP is required.
7. 095423 Linear Metal Ceilings are in the Police Headquarters Spec Book but are not shown in the finish schedule or plans. Please advise if the linear ceiling spec is not part of this project.
8. Are 20-gauge equal studs acceptable for the interior? 30 mil and heavier studs are currently a 12 week or more lead time and 20-gauge is should be readily available from the supply warehouses

Submitted by: Sean Setterberg, CM Company, Inc. for Sub-Contractor

Response:

1. Section 092900 has been updated to include the ballistic resistant fiberglass panels. See the attached section 092900.
2. No sound absorbing panels are required in the project.
3. I was unable to find reference to acoustically enhanced gyp board, no acoustically enhanced gyp board is required in the project.
4. Yes, a level five finish is required as indicated.
5. Ceramic Tile occurs in rooms 101, 102, 103, 148, 149. It is noted on the finish plan sheet A2.30, Room finish Schedule Sheet A3.10, and Interior Elevation sheet A6.02 and A6.04
6. FRP Occurs at the janitor sink. See finish schedule sheet A3.10 and D4/A8.00
7. Linear metal ceiling occurs at the entry canopy and vestibule and are listed as ACP3 in the finish schedule on sheet A3.30. See reflected ceiling plan A2.40.
8. 20-gauge studs are acceptable.

Answered by: Ben Bernier**Answered date: 6/2/2021**

SECTION 092900 - GYPSUM BOARD

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:

- 1. Interior gypsum board.
 - 2. Sound attenuation insulation.
 - 3. Ballistic Resistant Fiberglass Panels

- B. Related Requirements:

- 1. Section 061600 "Sheathing" for gypsum sheathing for exterior walls.
 - 2. Section 092216 "Non-Structural Metal Framing" for non-structural framing and suspension systems that support gypsum board panels.

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.

1.4 DELIVERY, STORAGE AND HANDLING

- A. Store materials inside under cover and keep them dry and protected against weather, condensation, direct sunlight, construction traffic, and other potential causes of damage. Stack panels flat and supported on risers on a flat platform to prevent sagging.

1.5 FIELD CONDITIONS

- A. Environmental Limitations: Comply with ASTM C 840 requirements or gypsum board manufacturer's written recommendations, whichever are more stringent.
- B. Do not install paper-faced gypsum panels until installation areas are enclosed and conditioned.
- C. Do not install panels that are wet, those that are moisture damaged, and those that are mold damaged.
 - 1. Indications that panels are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
 - 2. Indications that panels are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

PART 2 - PRODUCTS

2.1 GYPSUM BOARD, GENERAL

- A. Size: Provide maximum lengths and widths available that will minimize joints in each area and that correspond with support system indicated.

2.2 INTERIOR GYPSUM BOARD

- A. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
1. American Gypsum.
 2. CertainTeed Corp.
 3. Georgia-Pacific Gypsum LLC.
 4. Lafarge North America Inc.
 5. National Gypsum Company.
 6. PABCO Gypsum.
 7. Temple-Inland.
 8. USG Corporation.
- B. Gypsum Board, Type X: ASTM C 1396/C 1396M.
1. Thickness: 5/8 inch.
 2. Long Edges: Tapered.
- C. Gypsum Ceiling Board Type X: ASTM C 1396/C 1396M.
1. Thickness: 5/8" inch.
 2. Long Edges: Tapered.
- D. Moisture- and Mold-Resistant Gypsum Board: ASTM C 1396/C 1396M. With moisture- and mold-resistant core and paper surfaces.
1. Core: 5/8 inch, Type X.
 2. Long Edges: Tapered.
 3. Mold Resistance: ASTM D 3273, score of 10 as rated according to ASTM D 3274.

2.3 TRIM ACCESSORIES

- A. Interior Trim: ASTM C 1047.
1. Material: Galvanized or aluminum-coated steel sheet, rolled zinc, plastic, or paper-faced galvanized steel sheet.
 2. Shapes:
 - a. Cornerbead.
 - b. LC-Bead: J-shaped; exposed long flange receives joint compound.
 - c. L-Bead: L-shaped; exposed long flange receives joint compound.
 - d. U-Bead: J-shaped; exposed short flange does not receive joint compound.
 - e. Expansion (control) joint.

2.4 JOINT TREATMENT MATERIALS

- A. General: Comply with ASTM C 475/C 475M.
- B. Joint Tape:
 - 1. Interior Gypsum Board: Paper.
- C. Joint Compound for Interior Gypsum Board: For each coat use formulation that is compatible with other compounds applied on previous or for successive coats.
 - 1. Prefilling: At open joints and damaged surface areas, use setting-type taping compound.
 - 2. Embedding and First Coat: For embedding tape and first coat on joints, fasteners, and trim flanges, use drying-type, all-purpose compound.
 - a. Use setting-type compound for installing paper-faced metal trim accessories.
 - 3. Fill Coat: For second coat, use drying-type, all-purpose compound.
 - 4. Finish Coat: For third coat, use drying-type, all-purpose compound.
 - 5. Skim Coat: For final coat of Level 5 finish, use setting-type, sandable topping compound drying-type, all-purpose compound high-build interior coating product designed for application by airless sprayer and to be used instead of skim coat to produce Level 5 finish.

2.5 AUXILIARY MATERIALS

- A. General: Provide auxiliary materials that comply with referenced installation standards and manufacturer's written recommendations.
 - 1. Laminating adhesive shall have a VOC content of 50 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- B. Steel Drill Screws: ASTM C 1002, unless otherwise indicated.
 - 1. Use screws complying with ASTM C 954 for fastening panels to steel members from 0.033 to 0.112 inch thick.
- C. Sound Attenuation Blankets: ASTM C 665, Type I (blankets without membrane facing) produced by combining thermosetting resins with mineral fibers manufactured from glass, slag wool, or rock wool.
 - 1. Fire-Resistance-Rated Assemblies: Comply with mineral-fiber requirements of assembly.
- D. Thermal Insulation: As specified in Section 072100 "Thermal Insulation."
- E. Vapor Retarder: As specified in Section 072100 "Thermal Insulation."
- F. Ballistic Resistant Fiberglass Panels
 - 1. The panels shall be made of multiple layers of starch-oil woven roving ballistic grade fiberglass cloth impregnated with a thermoset polyester resin and compressed into flat rigid sheets. The production technique and materials used shall provide the controlled internal delamination to permit the encapture of a penetrating projectile. Bullet Resistant

Fiberglass Panels: ½" maximum thickness, and 5.45 pounds per square foot maximum weight. Materials shall be Armortex O.F.300 or equal.

2. Security Level:

- a. The Ballistic Resistant Fiberglass must be U.L. listed, rated for Level 3, minimum.

2.6 TEXTURE FINISHES

- A. Primer: As recommended by textured finish manufacturer.

1. Texture: level 5 smooth.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine areas and substrates including welded hollow-metal frames and framing, with Installer present, for compliance with requirements and other conditions affecting performance.
- B. Examine panels before installation. Reject panels that are wet, moisture damaged, and mold damaged.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 APPLYING AND FINISHING PANELS, GENERAL

- A. Comply with ASTM C 840.
- B. Install ceiling panels across framing to minimize the number of abutting end joints and to avoid abutting end joints in central area of each ceiling. Stagger abutting end joints of adjacent panels not less than one framing member.
- C. Install panels with face side out. Butt panels together for a light contact at edges and ends with not more than 1/16 inch of open space between panels. Do not force into place.
- D. Locate edge and end joints over supports, except in ceiling applications where intermediate supports or gypsum board back-blocking is provided behind end joints. Do not place tapered edges against cut edges or ends. Stagger vertical joints on opposite sides of partitions. Do not make joints other than control joints at corners of framed openings.
- E. Form control and expansion joints with space between edges of adjoining gypsum panels.
- F. Cover both faces of support framing with gypsum panels in concealed spaces (above ceilings, etc.), except in chases braced internally.
1. Unless concealed application is indicated or required for sound, fire, air, or smoke ratings, coverage may be accomplished with scraps of not less than 8 sq. ft. in area.
2. Fit gypsum panels around ducts, pipes, and conduits.
3. Where partitions intersect structural members projecting below underside of floor/roof slabs and decks, cut gypsum panels to fit profile formed by structural members; allow 1/4- to 3/8-inch- wide joints to install sealant.

- G. Attachment to Steel Framing: Attach panels so leading edge or end of each panel is attached to open (unsupported) edges of stud flanges first.
- H. Wood Framing: Install gypsum panels over wood framing, with floating internal corner construction. Do not attach gypsum panels across the flat grain of wide-dimension lumber, including floor joists and headers. Float gypsum panels over these members or provide control joints to counteract wood shrinkage.
- I. Install sound attenuation blankets before installing gypsum panels unless blankets are readily installed after panels have been installed on one side.

3.3 APPLYING INTERIOR GYPSUM PANELS FOR CEILINGS AND SOFFITS

- A. Apply panels perpendicular to supports, with end joints staggered and located over supports.
 - 1. Install with 1/4-inch open space where panels abut other construction or structural penetrations.
 - 2. Fasten with corrosion-resistant screws.

3.4 INSTALLING TRIM ACCESSORIES

- A. General: For trim with back flanges intended for fasteners, attach to framing with same fasteners used for panels. Otherwise, attach trim according to manufacturer's written instructions.
- B. Control Joints: Install control joints according to ASTM C 840 and in specific locations approved by Architect for visual effect.
- C. Aluminum Trim: Install in locations indicated on Drawings.

3.5 FINISHING GYPSUM BOARD

- A. General: Treat gypsum board joints, interior angles, edge trim, control joints, penetrations, fastener heads, surface defects, and elsewhere as required to prepare gypsum board surfaces for decoration. Promptly remove residual joint compound from adjacent surfaces.
- B. Prefill open joints and damaged surface areas.
- C. Apply joint tape over gypsum board joints, except for trim products specifically indicated as not intended to receive tape.
- D. Gypsum Board Finish Levels: Finish panels to levels indicated below and according to ASTM C 840:
 - 1. Level 1: Ceiling plenum areas, concealed areas, and where indicated.
 - 2. Level 5: Smooth where exposed to view.
 - a. Primer and its application to surfaces are specified in Section 099123 "Interior Painting."

3.6 PROTECTION

- A. Protect adjacent surfaces from drywall compound and promptly remove from floors and other non-drywall surfaces. Repair surfaces stained, marred, or otherwise damaged during drywall application.
- B. Protect installed products from damage from weather, condensation, direct sunlight, construction, and other causes during remainder of the construction period.
- C. Remove and replace panels that are wet, moisture damaged, and mold damaged.
 - 1. Indications that panels are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
 - 2. Indications that panels are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

END OF SECTION 092900



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Pre-Bid Request for Information

To: CM Company Inc.
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RFI No.: 06

Date: 06/1/2021

Job: Chubbuck Police H.Q. & Animal
Shelter

Job Phone: 208-384-0800

Cc:

Subject: Finishes

Drawing: See Below

Spec Section:

Request:

Date Required:

1. 095423 Linear Metal Ceilings 1.5 A. 1. Notes batt insulation to be installed in concealed and exposed locations. Please provide details. What R-Value is required?
2. 095113 Acoustical Panel Ceilings 2.2B is calling for fire rated 9/16 grid. Both of these requirements will add significant costs to the project. Since the specified tile is square edge is 15/16 acceptable? Is non fire rated grid acceptable?
3. A402 details 8,9,10, and 11 show rigid sheet wall covering. Section 102600 Wall and Door Protection 2.2 4. Shows this to be textured. Is Marlite standard embossed/pebbled FRP .09" acceptable?

Submitted by: Sean Setterberg, CM Company, Inc. for Sub-Contractor

Response:

1. Batt insulation can be friction fit between roof joists. Purpose of batts is to absorb and dampen sound, so there is no R-value requirement.
2. Non fire-rated 15/16" grid is acceptable.
3. Marlite standard .09" FRP is acceptable. Finish should be smooth.

Answered by: Ben Ledford

Answered date: 06.02.21



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Pre-Bid Request for Information

To: CM Company Inc.
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RFI No.: 07

Date: 06/1/2021

Job: Chubbuck Police H.Q. & Animal
Shelter

Job Phone: 208-384-0800

Cc:

Subject: Door Frames

Drawing:

Spec Section:

Request:

Date Required:

1. What is the frame depth for doors and frames at existing walls (Police H.Q.)?

Submitted by: Sean Setterberg, CM Company, Inc. for Sub-Contractor

Response:

1. Interior wall construction varies at each condition. Interior wall construction appears to be mainly 3 ½" metal studs and 2 x 6 (nom) and 2x4 (Nom) wood construction. Wall thicknesses will need to be field verified after new finish materials are installed to get an accurate thickness.

Answered by:

Answered date:



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Pre-Bid Request for Information

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seans@cmcompany.com

RFI No.: 08

Date: 06/2/2021

Job: Chubbuck Police H.Q. & Animal
Shelter

Job Phone: 208-384-0800

Cc:

Subject: Animal Shelter Storefront/HM Frames

Drawing: See below

Spec Section: See below

Request:

Date Required:

1. Is there a Basis of design for storefront metal? Spec book calls for 1 ¾" x4 ½" thermally broken.....Typical tb frames are 2" x 4 ½", please clarify. Do they have a u-value that they are needing to meet? (This will help determine glass type and frame type). Do they need TB doors as well? (Thermal Doors can have a significant increase in cost of doors)
2. Door mk#102 type A frame is listed on door schedule as insulated glass and painted metal, the adjacent frame D door mk#103 is clear anodized with ¼" glazing. Is this correct?
3. Is door frame type B used or is it mislabeled on d/s? Please clarify.
4. What frame is section 084113-3 1.6 b&c referring too? It appears to be some form of fire rating or special type of insulated foam filled frame? Please clarify.
5. Is ab applied film acceptable for accent glass type G-5 in window frame 100A located on the front of building? Will they want that glass type used in adjacent door frame?
6. All the interior door frames with flush wood doors are listed as aluminum (type f) instead of hollow metal was this the intent? Please clarify.

Submitted by: Sean Setterberg, CM Company, Inc. for Sub-Contractor

Response:

1. Use Kawneer 451UT as basis of design, which is indeed 2"x4½". Doors do not need to be Thermally Broken.
2. Door 102 should be clear anodized and *not* thermally broken.
3. Doors 100 and 101 should be shown as Type B.
4. No fire rated doors are included, so 1.6 B&C can be disregarded.
5. We will want to stay with the etched glass for greater durability. Yes, it should extend into Door 100 as well.
6. Yes, interior doors are intended to be aluminum to eliminate rust from daily cleanings.

Answered by: Ben Ledford

Answered date: 6.2.21

REQUEST FOR INTERPRETATION

R.F.I. No: 09 To: Sean Setterberg
Date: 5/24/2021 Project Name: Chubuck AS
Regarding: Kennels - Sliding Gates Contract For: Shor-Line
From: Fred Petzold Project No: _____

Specification Section 117510 Paragraph 2.2 D3a Drawing No A100 Detail D22/23

Request:

Drawing details Sliding Kennel Gates when They are not required or advantageous -

Sliding Gates represent a maintenance headache and cleanliness quality issues.

Shor-Line does not manufacture any sliding kennel gates. Further This room has plenty of work space to handle a swinging gate arrangement as detailed in all other kennels drawn for this project.

Signed by: Fred Petzold

Date: 5/24/2021

Response:

Kennels D22 and D23 may be changed to have a swinging gate similar to other kennels.

Signed by: Benjamin Ledford

Date: 6/02/21

Date Rec'd:

Date Ret'd:

Attachments

Copies:

☐ Architect

☐ Contractor

☐ Consultant

☐ Owner

☐ Others

REQUEST FOR INTERPRETATION

R.F.I. No: 10 To: Sean Setteburg
Date: 5/24/2021 Project Name: Chubbuck AS
Regarding: Kennel - Rusty Benches Contract For: Shor-Line
From: Fred Petzold Project No: _____

Specification Section 11-75-10 Paragraph 2.3 Drawing No _____ Detail _____

Request: Clarification - Accessories.

Accessories described are [competitor] Mason Co. Rusty Benches.
Shor-Line Does Not use Aluminum/FRP in any of our
components due to quality and service life issues.

Shor-Line is "Basis of design" for these level components.
Our Fold-up Benches are made of Stainless Steel and Dipped
PVC Steel Benches. See descriptors attached.
Shor-Line and Mason components do not combine.

Signed by: Fred Petzold (u)

Date: 5/24/2021

Response:

No resting benches are required. Paragraph 2.3 can be disregarded.

Signed by: Benjamin Ledford

Date: 6/02/21

Date Rec'd: _____ Date Ret'd: _____ Attachments _____
Copies: ☐ Architect ☐ Contractor ☐ Consultant ☐ Owner ☐ Others

1/4" CONCRETE ANCHOR
(SUPPLIED BY INSTALLER)
TYP

WALL

409.0000.01.34
BRACKET LOCATION TO BE
DETERMINED DURING INSTALLATION

FUB-1

FUB ANGLE
320.0269.99.41

FLIP UP BENCH

FLOOR

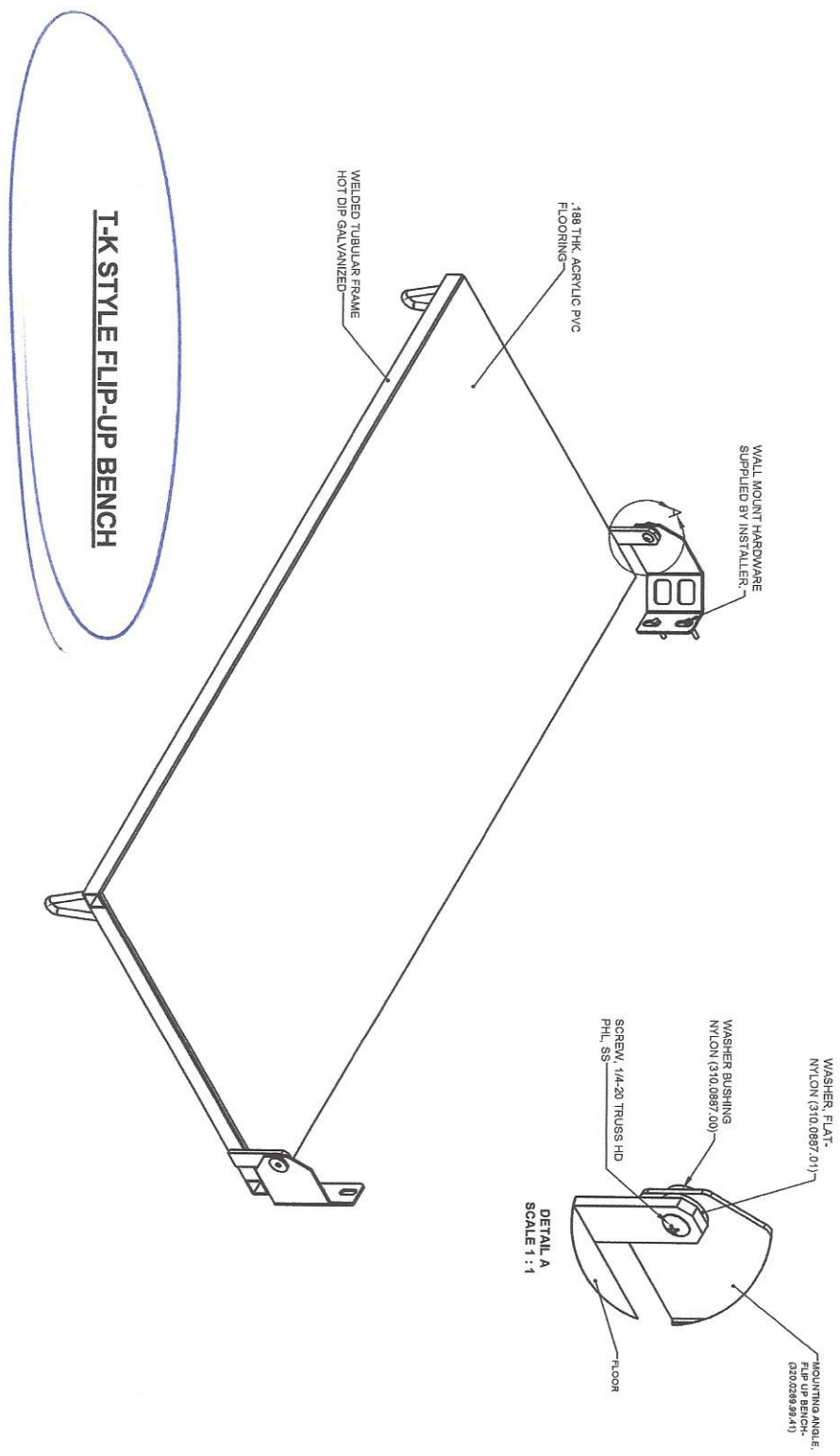
*Shot-Lane type
Foldy Resty Bench*

FUB ASSEMBLY DETAIL

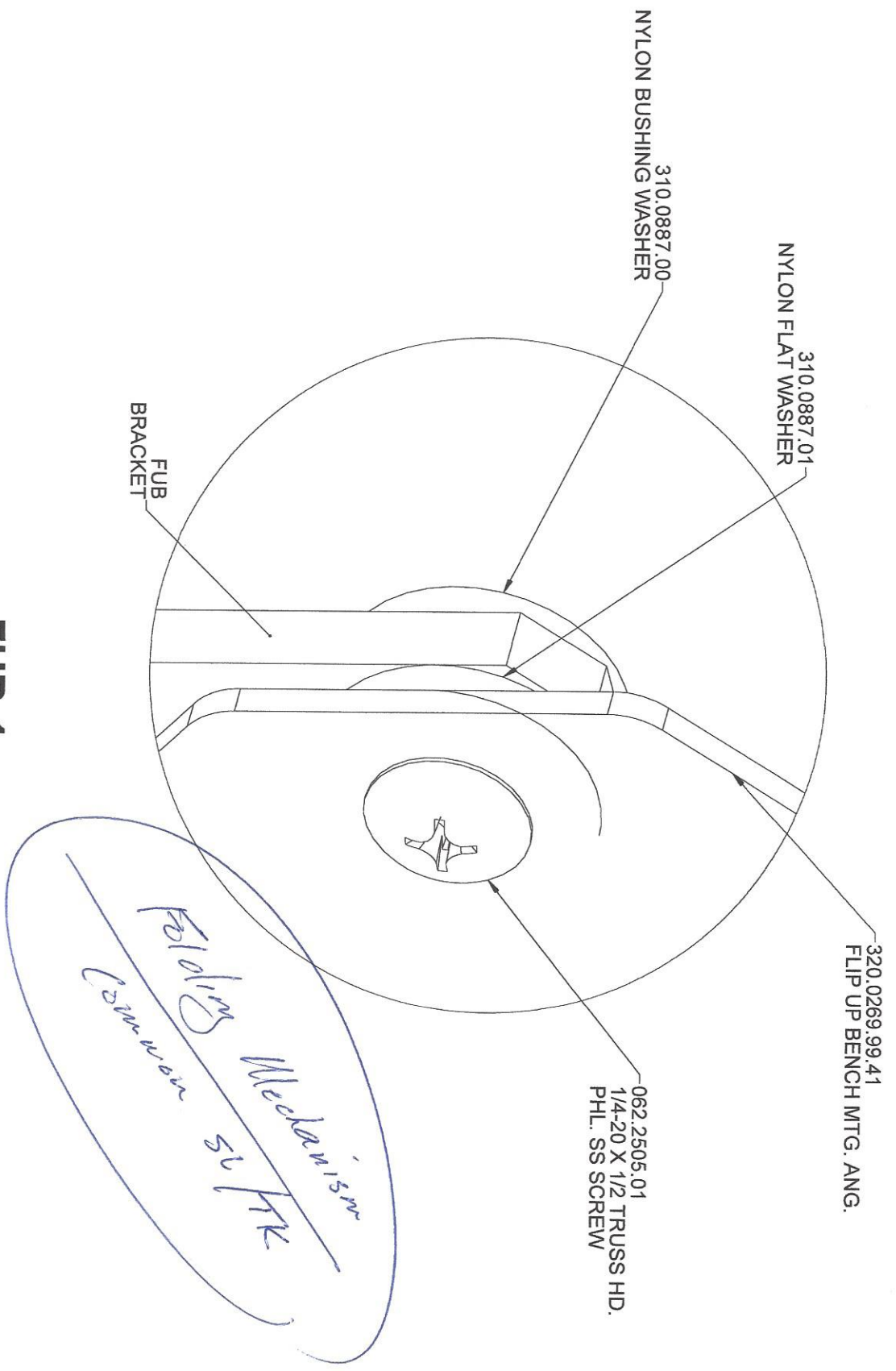
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11/20/2015

INITIAL
SHORTLINE



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FUB-1

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3/6/08

INITIAL
SHORLINE

REQUEST FOR INTERPRETATION

R.F.I. No: 11 To: Sam Satterberg
Date: 5/24/2021 Project Name: Chubbuck AS
Regarding: Kennels Contract For: Shor-Line
From: Fred Petzold Project No: _____

Specification Section 11-75-10 Paragraph 2.2 Drawing No _____ Detail _____

Request: Clarification:
Section A - Kennel Fronts define Shor-Line (Brand) components
ie: 1 1/4 tubing / 78" Height
Whereas Section B defines T-Kennel (Brand) component -
ie: 1" Tubing / 72" Height.

Both components made by Shor-Line BUT do no
Commingle
See attached descriptor pages - Choose proper component
group Fred Petzold
Signed by: _____ Date: 5/24/2021

Response:

The Shor-Line component group is intended as the basis of design, as indicated by reference to 1 1/4" tubing and 78" height in Section 2.2.A

The reference to 1" tubing in Section 2.2.D should be corrected to 1 1/4" to be consistent with the other paragraphs.

Signed by: Benjamin Ledford

Date: 6/02/21

Date Rec'd: _____ Date Ret'd: _____ Attachments _____
Copies: ☐ Architect ☐ Contractor ☐ Consultant ☐ Owner ☐ Others

ANATOMY OF A SHOR-LINE RUN SYSTEM

Shor-Line Stainless Steel Kennels are the crown jewel of our Shor-Line family. Years of craftsmanship have gone into creating our industry leading kennels that will last decades in your facility.

These runs are entirely constructed of Stainless Steel components, including a 1¼" Stainless Steel tube frame and Stainless Steel door. Two heavy-gauge Stainless Steel panels are sandwiched between a Sound Dampening Technology core to help reduce sound and add strength.

The shine of Stainless will reflect the quality of your organization, so we are committed to making it available in many sizes and designs to meet the unique needs of your facility.

Optional Glass Colors



PERFORMANCE FEATURES:

- 6'6" run height.
- 1¼" Stainless Steel tubing with mitered corners.
- ¼" Stainless Steel wire panel spaced every 6" for security.
- Wire panel rods welded at every intersection.
- Choose from Tempered Glass or Wire Doors.
- Tempered Glass available on doors, side panels and/or back panels.
- Rods pass into gate frame tube for added security.
- 16-gauge Stainless Steel hardware.
- Dual Pin Latch for security (can be locked).
- Hands-free latch operation.
- Side panels available in 48" isolation or full isolation.
- Nylon, brass or flag hinges are available.
- Wedge Kennel Run System follows the slope of the floor to prevent cross contamination.
- Inside run width is specified gate size.
- Gates mount between side panels or walls.
- Optional feeding systems for food and water available, but must be ordered when doors are made because it can't be retrofitted.



SHOR-LINE SINGLE KENNEL

Benefits:

The quality of this kennel is evident in the extra premium features, such as welds at every intersection and the smooth feel of crafted Stainless Steel. A pet in a Shor-Line kennel is protected by our well-crafted kennel that will withstand decades of use.

You choose the width and length to fit your needs, and mix and match side and back panels to make a statement. If you can dream it, we will make your vision sparkle!

Features:

- Our most durable kennel system features full Stainless Steel throughout this kennel.
- Frame is made up of 1¼"-square tubing.
- Stainless Steel is the best and easiest surface to clean and disinfect.
- Installed freestanding or against a wall using modular components.
- Stainless Steel side panels are sloped ¼" per foot. Other slopes available by request.
- Optional PVC Isolation side panels are available in multiple colors to complement your decor.
- Two heavy-gauge Stainless Steel panels are sandwiched between a Sound Dampening Technology core to help reduce sound and add strength.
- **Optional accessories:** Top wire panel, side transfer door, Stainless Steel glass door, elevated PVC floor and swivel feeding system.
- **Specs:** standard widths: 30", 36" and 48"; standard depths: 5' and 6'; height 6'6" (approx.) 7' 2" (approx.) on elevated PVC Floor.

See "How to Buy Shor-Line Run Systems" on page 8 for outline of options.



KENNELS RUNS



⚠ WARNING: This product can expose you to chemicals including chromium, which is known to the State of California to cause cancer. For more information go to www.P65Warnings.ca.gov

ANATOMY OF A T-KENNEL RUN SYSTEM

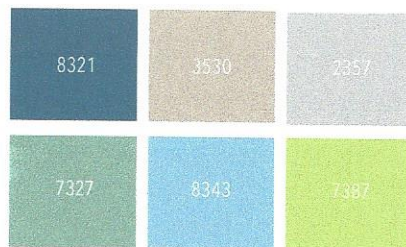
NEW! T-Kennel Run Systems just got better with our new **T-Core with Perfect Panel Design™**. The new side and back panels use state-of-the-art lamination process that bonds two sheets of Acrylic PVC to an extra-dense foam core. The result is an extremely strong, lightweight and sound-dampening panel that lowers pet stress.

The new two-piece construction lets you easily choose the upper flag piece—Stainless or galvanized wire, glass or full isolation panel. This new design works both indoors and outdoors!

PERFORMANCE FEATURES:

- 6' run height.
- 1" tubing with mitered corners (Stainless Steel or galvanized available).
- 3/16" Stainless Steel wire panel spaced every 6" for security. (Galvanized is 0.177 diameter wire).
- Wire panel rods welded at every intersection.
- Choose between Stainless Steel, Galvanized Steel or Tempered Glass gate.
- Gate can open in or out and is completely removable.
- Tempered Glass available on doors, side panels and/or back panels.
- Rods pass into gate frame tube for added security.
- 16-gauge Stainless Steel hardware.
- Single Pin Latch for security (can be locked) and Hands-Free latch operation.
- Side and back panels use our **NEW! T-Core with Perfect Panel Design™** with Stainless Steel trim that provides strength, sound deadening and extra protection against chewing.
- Side and back panels can have top sections of Stainless or galvanized steel, tempered glass or PVC isolation panels.
- Provides triple protection from cross contamination with the Perfect Panel's channel design. We construct the channel from durable, corrosion-proof PVC that adds longevity.
- Optional feeding systems for food and water available.

Standard PVC Colors



Premium PVC Colors



KENNELS RUNS



⚠ WARNING: This product can expose you to chemicals including chromium, which is known to the State of California to cause cancer. For more information go to www.P65Warnings.ca.gov

T-KENNEL SINGLE KENNEL

Benefits:

This functional T-Kennel Run System allows you to design a room (or a row of rooms) that makes good use of space. Our **T-Core with Perfect Panel Design™** adds strength and extra sound-dampening. Our options for colored PVC, tempered glass, Stainless and galvanized steel let you mix and match your look to fit budget and aesthetic choices.

Features:

- Durable frame is made up of 1" square tubing.
- You can install freestanding or against a wall.
- Includes one 2' wide gate that opens inward and outward, and it is completely removable.
- Has two slots for optional slide-in feed and water trays. (Any Kennel less than 4' wide will receive only one feed tray slot.)
- Raised floor systems can run 32' in either direction before a stub out is needed and feature leveling legs to rectify floor imperfections.
- Our **T-Core with Perfect Panel Design™** bonds two PVC panels to an extra-dense foam core. The heat and pressure from the sandwiched foam and PVC help reduce sound and add strength. New Stainless Steel trim adds styling and strength.
- **NEW!** Triple sealing channel follows the slope of the floor (up to to ¼" per foot) to prevent cross contamination. Special design provides extra sealing power. Other slopes available by request.
- Raised Floor Systems include a back panel.
- Easy to clean PVC Panels are available in multiple colors to complement your decor.
- **Optional accessories:** top wire panel, side transfer door, Half T-Cover, Stainless Steel wire door and Stainless Steel glass door. Choice of Stainless or galvanized steel components.
- **Specs:** standard Widths: 3', 3'6", & 4'; standard lengths: 3', 4', 5', 6' & 8'; standard height: 6' on concrete (approx.), 6' 10" on raised floor (approx.).



See "How to Buy T-Kennel Run Systems" on page 14 for outline of options.



Trench drain
with half T-Cover.

⚠ **WARNING:** This product can expose you to chemicals including chromium, which is known to the State of California to cause cancer. For more information go to www.P65Warnings.ca.gov

REQUEST FOR INTERPRETATION

R.F.I. No: 12 To: Sean Setterberg
Date: 5/24/2021 Project Name: Chubbuck AS
Regarding: Kennel/Cage Installation Contract For: Shor-Line
From: Fred Petzold Project No: _____

Specification Section	Paragraph	Drawing No	Detail
Request: Div 11 Equipment			
Section 11-53-00	Part 3	TP 3.2	Install Required in pricing
" 11-53-10	Part 3	TP 3.2	Install Required in pricing
" 11-53-30	Part 3	TP 3.2	" " " "
Bid Package 27 Installation	Part A:8	" Bid Package <u>does not</u> include	
Same Page: Total Animal Shelter Base Bid "Furnish and Install"			

Please clarify

Signed by: Fred Petzold Date: 5/24/2021

Response:

Installation is **not** included in Bid Package #27.

Signed by: Sean Setterberg Date: 5/28/2021

Date Rec'd: _____ Date Ret'd: _____ Attachments: _____
Copies: ☐ Architect ☐ Contractor ☐ Consultant ☐ Owner ☐ Others



CONSTRUCTION MANAGERS • GENERAL CONTRACTORS

431 W. McGregor Dr., Boise, ID 83705

P: 208.384.0800 | F: 208.345.5323 | www.cmcompany.com

6/3/2021

Re: Chubbuck Police HQ & Animal Shelter:

To All Bidders,

The attached project schedule is broken into two phases, as outlined on the attached site material handling plan. Phase 1 is the North side of the Police HQ, Animal Shelter and associated sitework. Phase 2 is the South side of the Police HQ and associated sitework.

CM Company has made every effort to phase the work to most effectively use manpower and equipment, however there may be periods during construction when multiple crews will be required to be present to maintain the scheduled progress. Please review the scheduled start dates for each activity and take note of the times when multiple crews will be required on site. It is expected that this condition be planned for and the costs associated with this requirement be included in the bid amount.

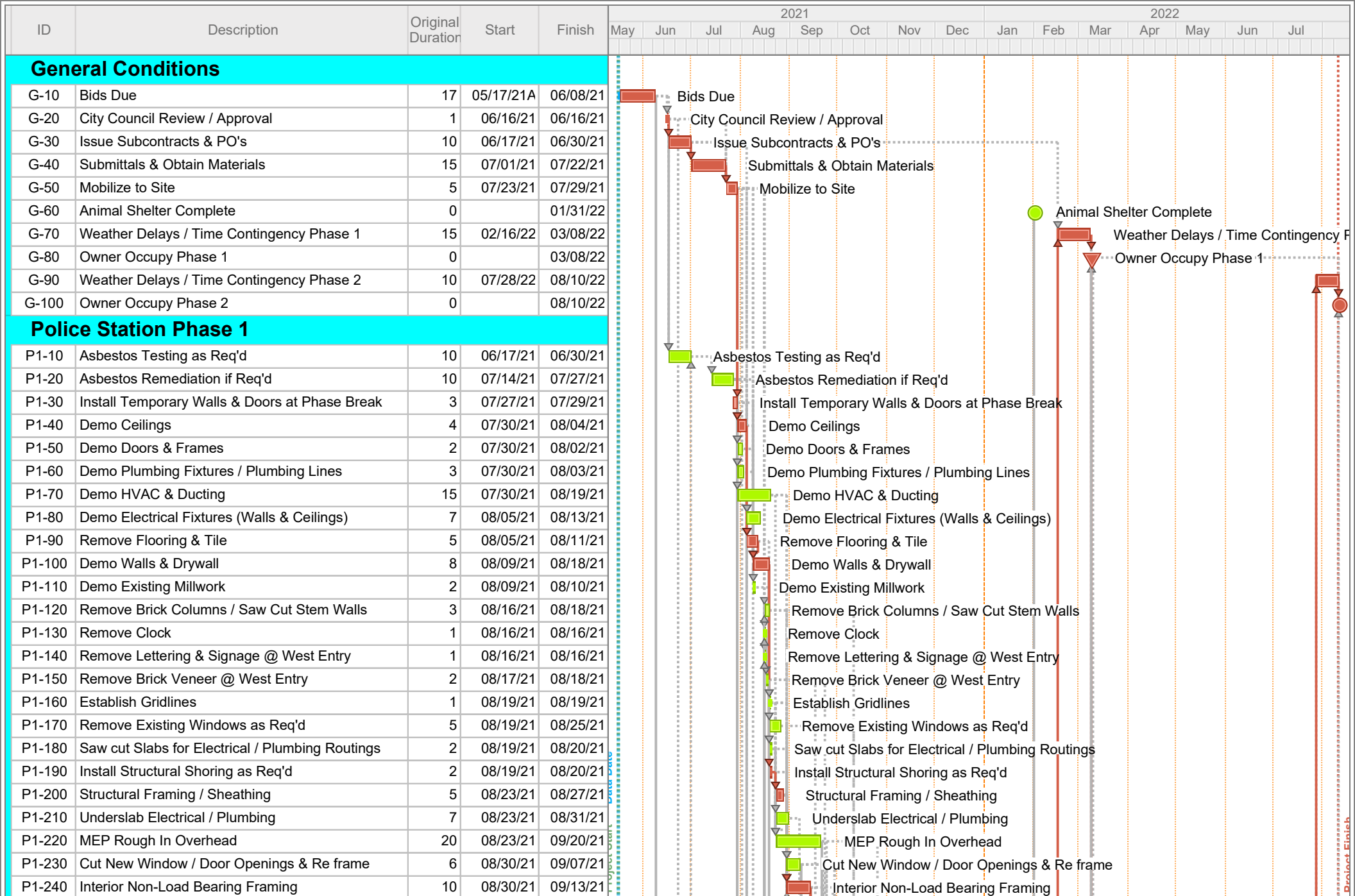
The schedule establishes major activity start and finish dates only and is not to be considered exhaustive. It is expected that all bidders review the schedule and by acknowledging this addendum agree to commence work on or before the dates specified in the schedule and finish each task within the set forth duration.

Each contractor will be required to maintain close contact with CM Company's project manager and superintendent throughout the duration of the project to determine precise start dates. All subcontractors / suppliers should reasonably expect that the scheduled dates shown will vary to some degree as the construction progresses.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'Garrett Goldade'.

Garrett Goldade
Project Manager

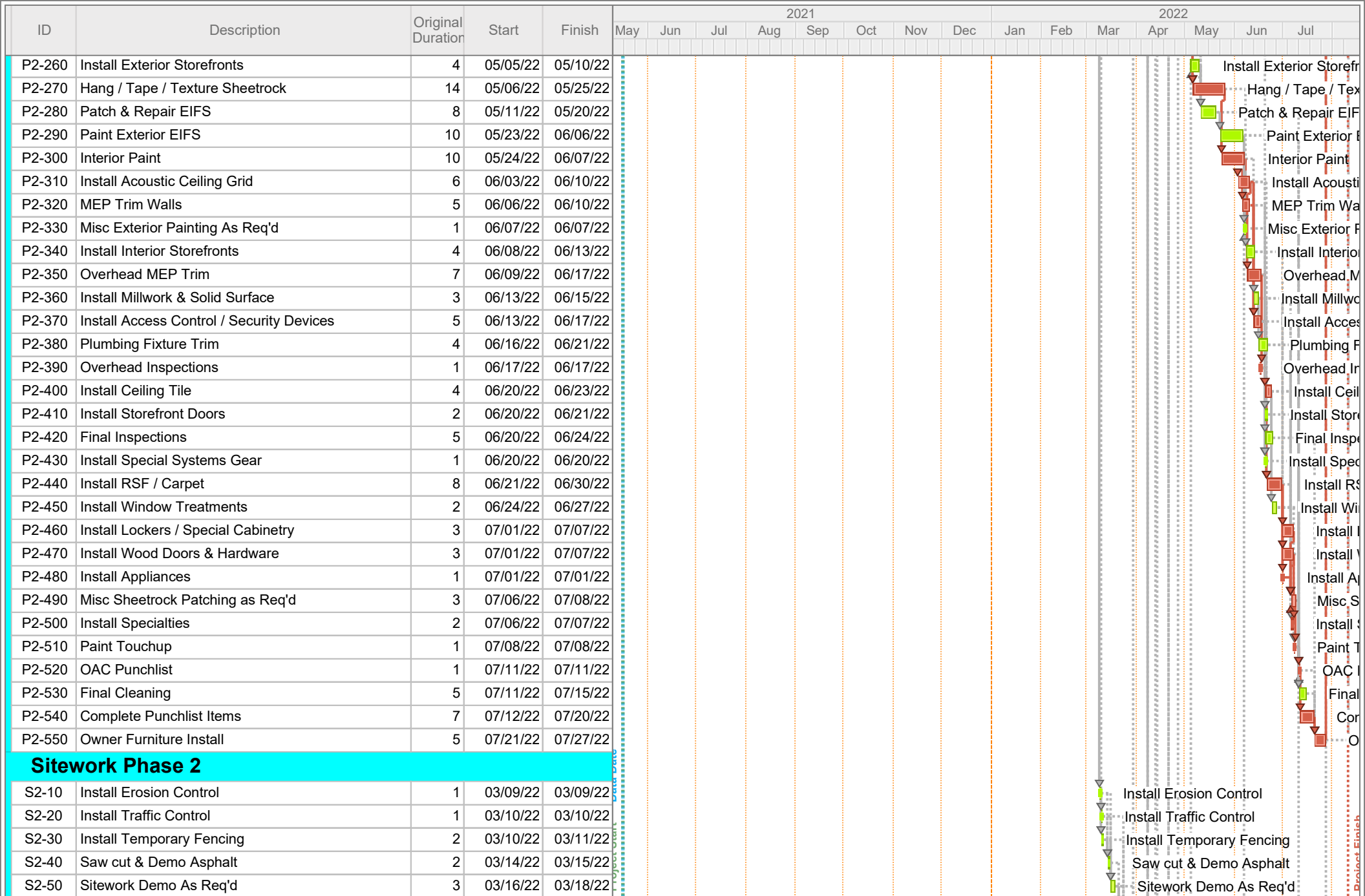


Start Date: 05/17/21
Finish Date: 08/10/22
Data Date: 05/17/21
Run Date: 06/03/21

Chubbuck Police HQ & Animal Shelter Bid Schedule 6/2/2021



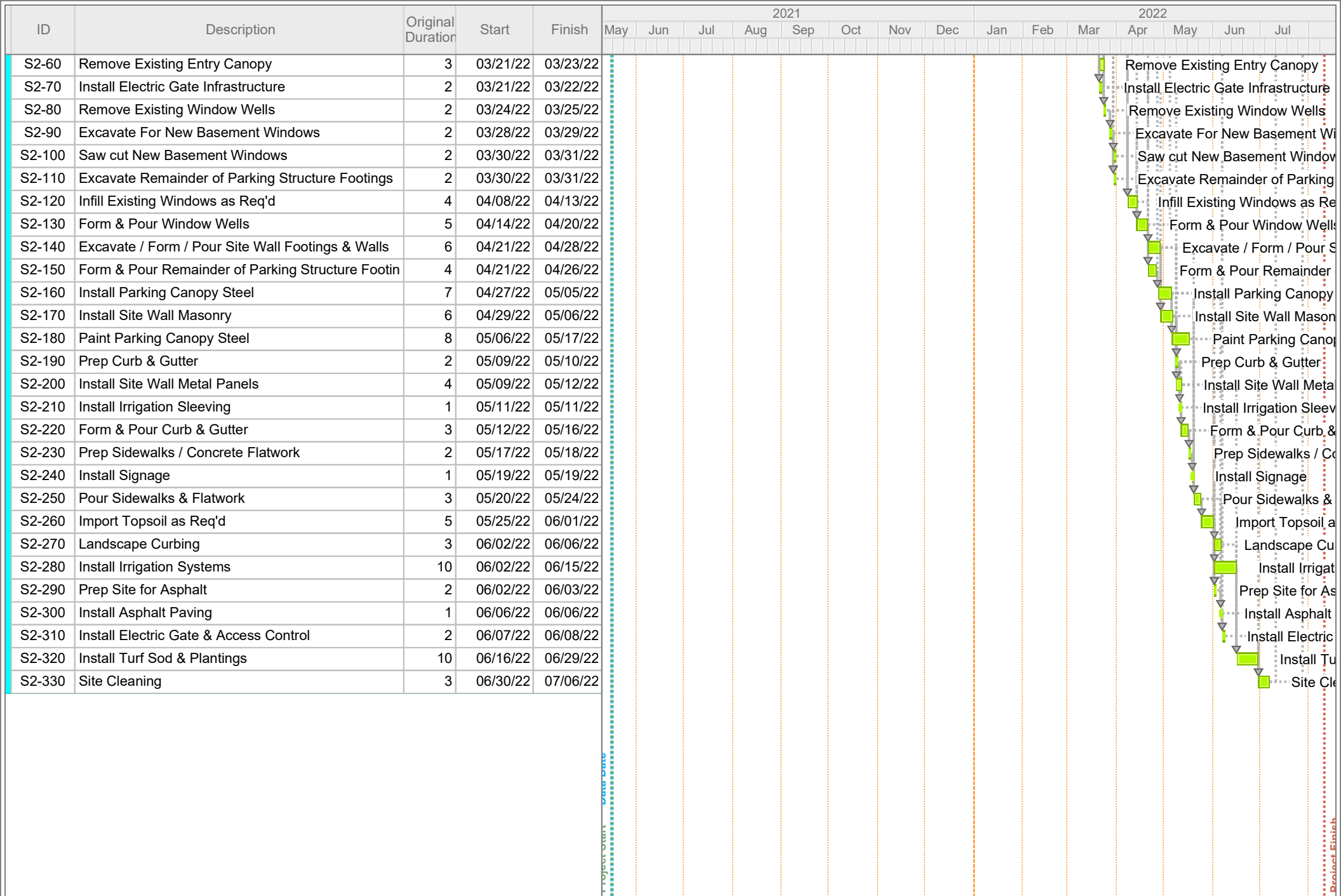
					2021												2022					
ID	Description	Original Duration	Start	Finish	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul			
P1-620	Exterior MEP Trim	1	11/24/21	11/24/21																		
P1-630	Install Specialties / Safety Pads / Gym Mirrors	3	11/30/21	12/02/21																		
P1-640	Install Storefront Doors	2	11/30/21	12/01/21																		
P1-650	Install RSF / Carpet	18	12/01/21	12/28/21																		
P1-660	Misc Exterior Painting As Req'd	4	12/02/21	12/07/21																		
P1-670	Install Access Control / Security Devices	10	12/07/21	12/20/21																		
P1-680	Install Window Treatments	4	12/07/21	12/10/21																		
P1-690	Plumbing Fixture Trim	9	12/14/21	12/28/21																		
P1-700	Install Lockers / Special Cabinetry	6	12/15/21	12/22/21																		
P1-710	Install / Relocate Special Systems Gear	15	12/21/21	01/13/22																		
P1-720	Install Locker Benches	2	12/29/21	12/30/21																		
P1-730	Install Wood Doors & Hardware	4	12/29/21	01/04/22																		
P1-740	Install Appliances	1	12/29/21	12/29/21																		
P1-750	Final Inspections	5	12/29/21	01/05/22																		
P1-760	Misc Sheetrock Patching as Req'd	4	01/05/22	01/10/22																		
P1-770	Paint Touch Up	1	01/10/22	01/10/22																		
P1-780	Final Cleaning	8	01/11/22	01/20/22																		
P1-790	OAC Punchlist	1	01/21/22	01/21/22																		
P1-800	Complete Punchlist Items	10	01/24/22	02/04/22																		
P1-810	Owner Furniture Install	5	02/07/22	02/11/22																		
P1-820	Dispatch Switch Over	2	02/14/22	02/15/22																		
Sitework Phase 1																						
S1-10	Install Traffic Control	2	07/30/21	08/02/21																		
S1-20	Disconnect & Remove Site Lighting	3	07/30/21	08/03/21																		
S1-30	Install Erosion Control	1	07/30/21	07/30/21																		
S1-40	Provide Temporary Irrigation as Req'd	2	07/30/21	08/02/21																		
S1-50	Relocate Memorial Tree	1	07/30/21	07/30/21																		
S1-60	Install Temporary Fencing	2	08/02/21	08/03/21																		
S1-70	Saw cut & Demo Asphalt	3	08/04/21	08/06/21																		
S1-80	Install Construction Entrance	1	08/09/21	08/09/21																		
S1-90	Intercept & Extend Natural Gas to Animal Shelter	4	08/09/21	08/12/21																		
S1-100	Sitework Demo As Req'd	4	08/10/21	08/13/21																		
S1-110	Remove & Protect Monument, Plaque, Flagpole etc.	2	08/16/21	08/17/21																		
S1-120	Demo Existing Awning	2	08/18/21	08/19/21																		
S1-130	Demo Existing Entry Stair & Ramp	2	08/19/21	08/20/21																		
S1-140	Install 6" Water Tap & 6" Water Line	5	08/20/21	08/26/21																		



Start Date: 05/17/21
 Finish Date: 08/10/22
 Data Date: 05/17/21
 Run Date: 06/03/21

Chubbuck Police HQ & Animal Shelter Bid Schedule 6/2/2021

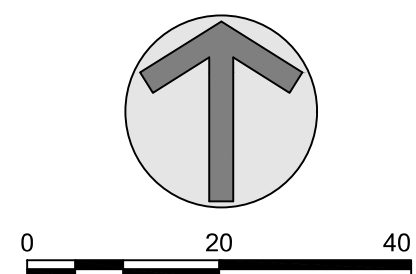




Start Date: 05/17/21
 Finish Date: 08/10/22
 Data Date: 05/17/21
 Run Date: 06/03/21

Chubbuck Police HQ & Animal Shelter
 Bid Schedule
 6/2/2021





CE-101

SUBSTITUTION REQUEST FORMTO: CM Company Inc., Attention: Sean Setterberg (seans@cmcompany.com)PROJECT: CHUBBUCK POLICE DEPARTMENT RENOVATION

We hereby submit for your consideration the following product instead of the specified item for the above project:

<u>Section</u>	<u>Paragraph</u>	<u>Specified Item</u>
DRAWING P2.0	SH-1 ADA SHOWER	INPRO CUSTOM ROUND DRAIN BASE/SURROUND

Attach complete technical data, including product description, proposed manufacturers/model, specifications, drawings, photographs, performance and test data adequate for evaluation of request. Also attach description of changes to Contract Documents required by proposed substitution for proper installation.

Proposed Manufacturer and/or Model:

WILTCHER INDUSTRIES ADA SHOWER SYSTEM WITH MOVABLE DRAIN LOCATION
AND SURROUND(S)

What affect does proposed substitution have on the product being purchased?

LOWER COST

The undersigned certifies that the function, appearance, and quality are equivalent or superior to the specified item. Undersigned further certifies that the proposed substitution does not affect dimensions shown on the drawings, will not have adverse impact on other trades, construction schedule or specified warranty requirements, and that maintenance and service is available locally or readily obtainable. The undersigned agrees to pay for changes to the design caused by the proposed substitution (if any).

Submitted By:



Signature

ROBERT WILTCHER

Name (Printed)

WILTCHER INDUSTRIES

Firm

1034 JUDBURY LN, ORLANDO BEACH FL 32174

Address, City, State

704 907 9838

Phone

Email

rwilcher@wilcherindustries.com

<input checked="" type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>

Accepted

Not accepted

Accepted as noted

Received too late

By:



Date:

6-3-2021

Remarks: